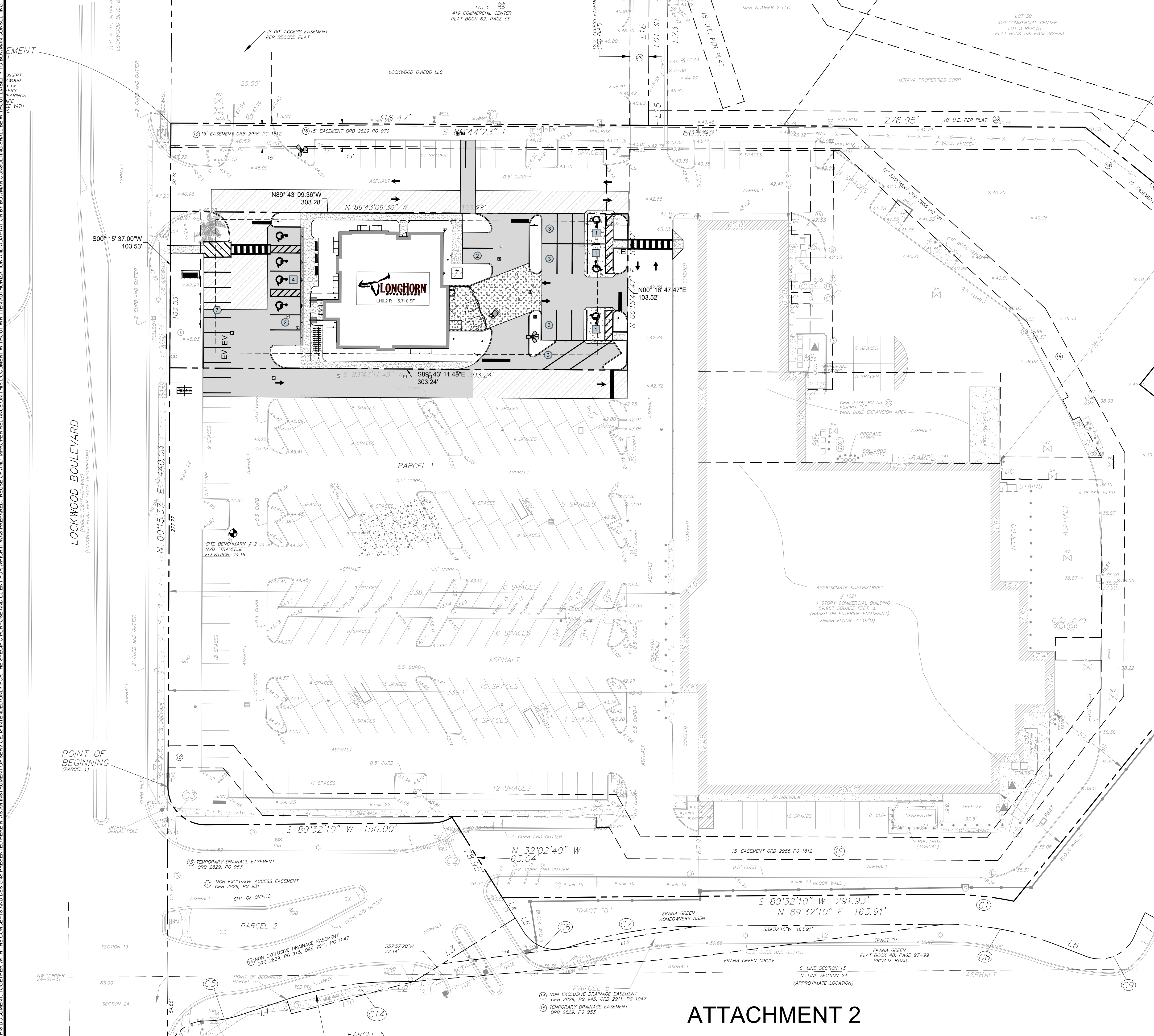
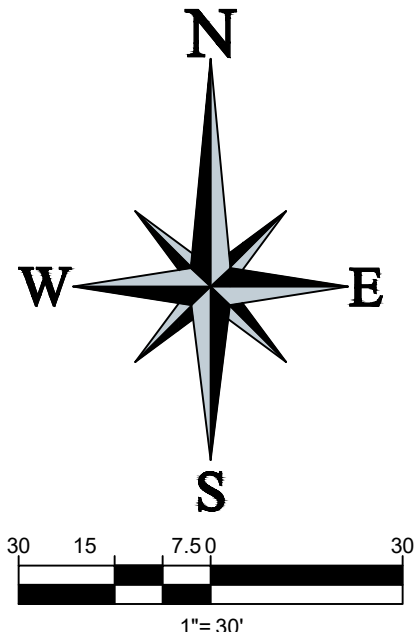


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- LEGEND**
- PROPOSED PROPERTY BOUNDARY LINE
 - EXISTING PROPERTY BOUNDARY LINE
 - PROPOSED BUILDING SETBACK
 - PROPOSED LANDSCAPE SETBACK
 - PROPOSED EDGE OF PAVEMENT
 - EXISTING EDGE OF PAVEMENT
 - EXISTING CURB
 - PROPOSED BUILDING OUTLINE
 - PROPOSED PARKING COUNT
 - PROPOSED SIGN
 - PROPOSED BUILDING ENTRANCES
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED ASPHALT MILL AND OVERLAY
 - PROPOSED HEAVY DUTY CONCRETE
 - PROPOSED LIGHT STRUCTURE
 - SANITARY STRUCTURES
 - STORM STRUCTURES
 - WATER/FIRE STRUCTURE
 - SITE SIGNAGE
 - LIGHT POLE AND GROUND VAULT
 - TREE



OVERALL DEVELOPMENT DATA TABLE			
PARCEL NUMBER	13-21-31-300-005C-0000		
SITE ADDRESS	NORTHWEST OUTPARCEL OF 1021 LOCKWOOD BOULEVARD, OVIEDO, FLORIDA 32765		
LIMITS OF DISTURBANCE	40,288 SF (0.92 AC)		
	LOT 1	LOT 2	TOTAL / OVERALL
PROPOSED LOT / PARCEL OWNER	LOCKWOOD ASSOCIATES OF GA LP	STAFFORD PROPERTIES, INC.	VARIES
FUTURE LAND USE	(PUD) PLANNED UNIT DEVELOPMENT	(PUD) PLANNED UNIT DEVELOPMENT	(PUD) PLANNED UNIT DEVELOPMENT
ZONING DISTRICT	(PUD) PLANNED UNIT DEVELOPMENT	(PUD) PLANNED UNIT DEVELOPMENT	(PUD) PLANNED UNIT DEVELOPMENT
EXISTING LAND USE	RETAIL	RETAIL	RETAIL
PROPOSED LAND USE	RETAIL	RESTAURANT	RESTAURANT / RETAIL
MAXIMUM BUILDING HEIGHT	35'	35'	35'
PROVIDED BUILDING HEIGHT	(EXISTING)	27'	N/A
EXISTING BUILDING AREA	59,987 SF (1.38 AC)	0 SF (0 AC)	59,987 SF (1.38 AC)
PROPOSED BUILDING AREA	59,987 SF (1.38 AC)	5,710 SF (0.13 AC)	65,697 SF (1.51 AC)
BUILDING CONSTRUCTION TYPE	(EXISTING)	TYPE VB	N/A
NUMBER OF BUILDING STORIES	1	1	N/A
EXISTING FLOOR AREA RATIO	0.20 (59,987 SF, 1.38 AC)	0.00 (000 SF, 000 AC)	0.18 (59,987 SF, 1.38 AC)
PERMITTED FLOOR AREA RATIO	NOT TO EXCEED 223,000 SF IN TWIN RIVERS PUD		
PROVIDED FLOOR AREA RATIO	0.20 (59,987 SF, 1.38 AC)	0.18 (5,710 SF, 0.13 AC)	0.20 (65,697 SF, 1.51 AC)
LOT / PARCEL AREA	303,784 SF (6.97 AC)	31,377 SF (0.72 AC)	335,161 SF (7.69 AC)
EXISTING OPEN SPACE	80,941 SF (1.86 AC) [26.65%]	5,625 SF (0.13 AC) [17.93%]	86,566 SF (1.99 AC) [25.83%]
REQUIRED OPEN SPACE	TWIN RIVERS PUD OVERALL OPEN SPACE OF 30%		
PROPOSED OPEN SPACE	80,941 SF (1.86 AC) [26.65%]	7,151 SF (0.16 AC) [22.79%]	88,092 SF (2.02 AC) [26.29%]
EXISTING IMPERVIOUS AREA	222,782 SF (5.11 AC) [73.34%]	25,753 SF (0.59 AC) [82.08%]	248,535 SF (5.71 AC) [74.16%]
PROPOSED IMPERVIOUS AREA	222,823 SF (5.11 AC) [73.35%]	24,226 SF (0.56 AC) [77.21%]	247,049 SF (5.67 AC) [73.71%]
PROPOSED 10X20 SPACES	16 [53%]	7 [23%]	23 [7%]
PROPOSED ADA 12X20 SPACES	5 [2%]	7 [23%]	12 [5%]
TOTAL SPACES PROVIDED	242 TOTAL (NSDA)	30 TOTAL (NSDA)	272 TOTAL
REQUIRED BICYCLE PARKING	0 (NSDA)	12	12
PROVIDED BICYCLE PARKING	0 (EXISTING)	12	12
REQUIRED LOADING SPACE	2 (NSDA)	1 (NSDA)	3 (NSDA)
PROPOSED LOADING SPACE	2 (EXISTING)	1 (OFF-HOURS / NSDA)	3
REQUIRED ELECTRIC VEHICLE PARKING	0 (NSDA)	2	2
PROVIDED ELECTRIC VEHICLE PARKING	0 (EXISTING)	2	2
BUILDING SETBACKS (REQUIRED / PROVIDED)			
FRONT (WEST)	(EXISTING PER NSDA)	30 FT / 93.30 FT	N/A
SIDE (NORTH)	(EXISTING PER NSDA)	5 FT / 11.90 FT (NSDA)	N/A
SIDE (SOUTH)	(EXISTING PER NSDA)	10 FT / 11.90 FT	N/A
REAR (EAST)	(EXISTING PER NSDA)	20 FT / 118.20 FT	N/A
LANDSCAPE BUFFERS (REQUIRED / PROVIDED)			
FRONT (WEST)	(EXISTING PER NSDA)	20 FT / 21.78 FT	N/A
SIDE (NORTH)	(EXISTING PER NSDA)	0 FT / 0.00 FT	N/A
SIDE (SOUTH)	(EXISTING PER NSDA)	0 FT / 0.00 FT	N/A
REAR (EAST)	(EXISTING PER NSDA)	0 FT / 0.00 FT	N/A

ATTACHMENT 2

OVERALL SITE PLAN

RESTAURANT

1009 LOCKWOOD BLVD

OVIEDO, FL 32765

811

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PLAN STATUS

REV	DATE	COMMENT
08/11/22	AHJ COMMENTS	
02/09/23	AHJ COMMENTS	
05/26/23	AHJ COMMENTS	

CED DESIGN	CED DRAWN	ALC CHKD
SCALE	AS SHOWN	
JOB No.	010755-01-002	
DATE	09/17/2021	

SHEET

C3.1

Bowman

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