



ACE HARDWARE - OVIEDO

23 E. FRANKLIN STREET
OVIEDO, FLORIDA
PARCEL ID: 10-21-31-506-0000-0060

ADO ARCHITECTURAL PLAN SET

PROJECT NUMBER 23-0024-ADO

LOCATION MAP



OWNER
GREG PARSELL
BARFORD ACE HARDWARE, INC.
CONTRACT
(407) 416-4451

ARCHITECT
dap design, LLC
1800 NORTH ORANGE AVENUE, SUITE A
ORLANDO, FL 32804
(407) 429-4370

dap

ARCHITECT
dap design, LLC
1800 NORTH ORANGE AVENUE, SUITE A
ORLANDO, FL 32804
(407) 429-4370
www.dap-design.com
AD20230721

SHEET INDEX

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A1.00	ARCHITECTURAL SITE PLAN AND DETAILS
ADD.1	FLOOR PLAN
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REQUESTED DEVIATIONS

West Elevation	<ul style="list-style-type: none">LDC Section 8.7(c)(3)(iv)(B), Deviation: A 378 Sq. Ft. deviation to a minimum 30% of area for fenestration on a primary facade to allow for 240 Sq. Ft. of fenestration on the west elevation instead of the minimum 378 Sq. Ft. of fenestration required, resulting in a 23% deviation.LDC Section 8.7(c)(3)(iv)(B), Articulation: Two (2) articulation deviation articulations on the west elevation, resulting in a 63% deviation, from the required three (3) articulation on a primary facade to allow one (1)
North & South Elevation	<ul style="list-style-type: none">LDC Section 8.7(c)(3)(iv)(B), Deviation: A 304 Sq. Ft. deviation to a minimum 30% of area for fenestration on a primary facade to allow for 476 Sq. Ft. of fenestration on the north & south elevation instead of the minimum 780 Sq. Ft. of fenestration required, resulting in a 39% deviation.LDC Section 8.7(c)(3)(iv)(B), Articulation: One (1) articulation deviation articulations on the north & south elevation, resulting in a 33% deviation, from the required three (3) articulation on a primary facade to allow two (2)
East Elevation	<ul style="list-style-type: none">LDC Section 8.7(c)(3)(iv)(B), Articulation: One (1) articulation deviation the east elevation, resulting in a 100% deviation, from the required one (1) articulation on a rear facade to allow zero (0) articulations on
Mitigation Techniques:	<ol style="list-style-type: none">(1) Other Mitigation: Brick wrap around(1) Public Art Contribution: \$ 1,500 donation(1) Public Art Contribution: \$ 1,500 donation

BOUNDARY & TOPOGRAPHIC SURVEY

SCHEDULE B-2 EXCEPTIONS NOTES:

4. All matters contained on the Plat of Map of Samuel A. Robinson's Addition to Oviedo, as recorded in Plat Book 3, Page 7, Public Records of Seminole County, Florida, (BLANKET IN NATURE, AFFECTS SUBJECT PROPERTY)

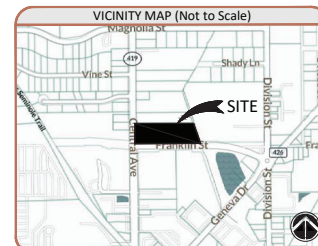
5. Drainage Easement recorded in O.R. Book 4066, Page 1505, Public Records of Seminole County, Florida, Rights of the lessors under unrecorded leases, (BLANKET IN NATURE, AFFECTS SUBJECT PROPERTY)

DESCRIPTION:

A PORTION OF LOT 6 AND ALL OF LOT 7, BLOCK 8, MAP OF SAMUEL A. ROBINSON'S ADDITION TO OVIEDO, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 7, PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA, LYING IN SECTION 10, TOWNSHIP 23 SOUTH, RANGE 31 EAST, CITY OF OVIEDO, SEMINOLE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 OF SECTION 10, TOWNSHIP 21 SOUTH, RANGE 31 EAST, SEMINOLE COUNTY, FLORIDA, RUN THENCE NORTH 00°10'00" W, ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF SAID SOUTHWEST 1/4 OF SECTION 10, A DISTANCE OF 1329.65 FEET TO THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF SAID SOUTHWEST 1/4 OF SECTION 10; THENCE NORTH 45°03'00" W, ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 10, A DISTANCE OF 671.43 FEET; THENCE NORTH 14°57'00" E A DISTANCE OF 20.00 FEET TO THE FORMER NORTH RIGHT OF WAY LINE OF E FRANKLIN STREET PER THE MAP OF SAMUELA. ROBINSON'S ADDITION, AS RECORDED IN PLAT BOOK 3, PAGE 57, PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA; THENCE NORTH 17°05'41" W A DISTANCE OF 10.48 FEET TO THE EXISTING NORTH RIGHT OF WAY LINE OF SAID E FRANKLIN STREET PER OFFICIAL RECORDS BOOK 5067, PAGE 430, PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA FOR A POINT OF BEGINNING; THENCE NORTH 89°28'22" W, ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 587.69 FEET; THENCE NORTH 28°22' W, CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 30.33 FEET TO THE EAST RIGHT-OF-WAY LINE OF CENTRAL AVENUE (STATE ROAD 434) PER SAID MAP OF SAMUELA. A. ROBINSON'S ADDITION; THENCE NORTH 28°15' E, ALONG SAID EAST RIGHT OF WAY LINE A DISTANCE OF 168.57 FEET TO THE SOUTHWEST CORNER OF LOT 8, SAID MAP OF SAMUELA. A. ROBINSON'S ADDITION; THENCE SOUTH 89°28'22" W, ALONG THE SOUTH LINE OF SAID LOT 8, A DISTANCE OF 549.47 FEET TO THE SOUTHEAST CORNER OF SAID LOT 8; THENCE SOUTH 51°58'30" E, ALONG THE EAST LINES OF 7 AND 8 OF SAID MAP OF SAMUELA. A. ROBINSON'S ADDITION, A DISTANCE OF 199.23 FEET TO THE POINT OF BEGINNING.

CONTAINS 109,835 SQUARE FEET OR 2.5215 ACRES, MORE OR LESS.

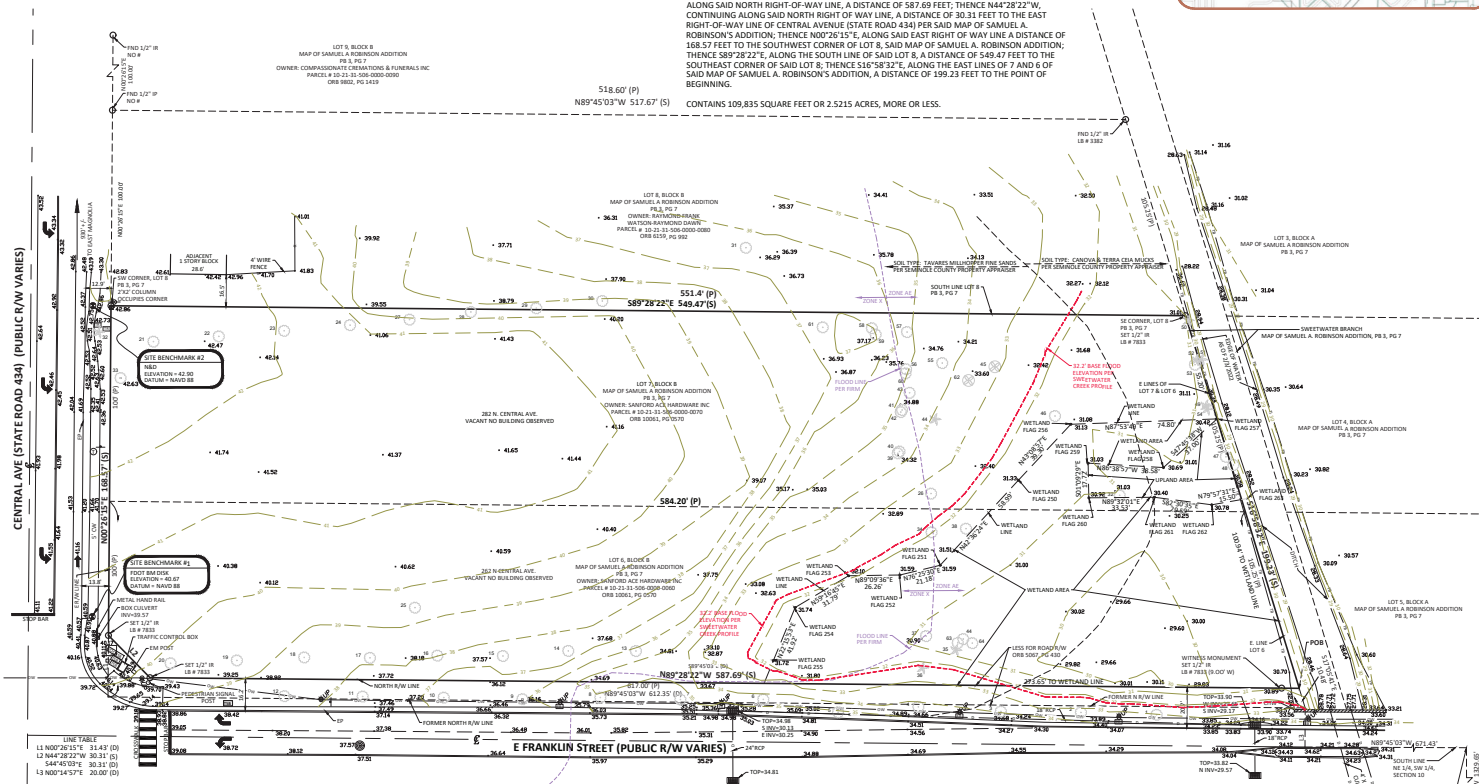


LEGEND

- AC - ACRES
- AL - ALIEN
- BL - BLACK
- BR - BROWN
- CA - CEMENT
- CL - CLAY
- CO - COAL
- CR - CEMENT
- CU - CEMENT
- DA - DRAINAGE
- DE - DEED
- DI - DRAINAGE
- DO - DRAINAGE
- DR - DRAINAGE
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GENERAL SURVEY NOTES:

- BEARING STRUCTURE IS BASED ON THE MONUMENTED EAST LINE OF STATE ROAD 434, BEING NORTH 26°15' E, ASSUMED
- THIS SURVEY REFLECTS ONLY MATTERS OF RECORD AS PROVIDED BY THE CLIENT OR CLIENTS REPRESENTATIVE.
- THIS SURVEY WAS MADE ON THE GROUND. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ENGINEER AND CONTRACTOR SHALL VERIFY MEASUREMENTS OF CONNECTIONS TO EXISTING UTILITIES BEFORE ORDERING MATERIALS AND BEFORE COMMENCEMENT OF CONSTRUCTION. IF THERE IS A DISCREPANCY BETWEEN THE MEASUREMENTS SHOWN HEREON AND THE VERIFYING MEASUREMENTS, THIS SURVEYOR SHALL BE CONTACTED IMMEDIATELY TO FURTHER VERIFY THE DISCREPANCY.
- THIS SITE LIES IN ZONE "X" AND "AE", BASED ON FLOOD INSURANCE RATE MAP NO. 1211C0309P, COMMUNITY NO. 121029, CITY OF OVIEDO, SEMINOLE COUNTY, FLORIDA, HAVING AN EFFECTIVE DATE OF 09/28/2007.
- ACCORDING TO FLORIDA STATUTES, CHAPTER 472.02, A LAND SURVEYOR SHALL NOT AFFIX HIS SEAL OR NAME TO ANY PLAN OR DRAWING WHICH REPRESENTS WORK WHICH HE IS NOT LICENSED TO PERFORM OR WHICH IS BEYOND HIS PROFESSION OR SPECIALTY THEREIN. THEREFORE, WE ARE UNABLE TO CERTIFY AS TO MUNICIPAL ZONING COMPLIANCE. INTERPRETATION OF ZONING CODES OR THE DETERMINATION OF VIOLATIONS THEREOF.
- THIS "BOUNDARY & TOPOGRAPHIC SURVEY" WAS MADE IN ACCORDANCE WITH LAWS AND/OR STANDARDS OF PRACTICE FOR THE STATE OF FLORIDA.
- THE PROPERTY HAS DIRECT ACCESS TO STATE ROAD 434 AND E FRANKLIN STREET, A PAVED PUBLIC RIGHT-OF-WAY.
- OBSERVABLE SURFACE EVIDENCE OF UTILITIES SERVING THE PROPERTY AND STORM DRAINAGE FACILITIES ARE SHOWN HEREON.
- ALL PARCELS AND/OR LOTS SHOWN HEREON ARE CONTIGUOUS BETWEEN SAID PARCELS AND/OR LOTS AND DO NOT CREATE ANY GAPS, GORES OR HATCHES.
- NO SURFACE EVIDENCE OF SITE USE AS A CEMETERY WAS OBSERVED.
- THE MAPPED FEATURES SHOWN HEREON ARE RELATIVE TO ASSUMED HORIZONTAL DATUM.
- ELEVATIONS ARE BASED ON BENCHMARK DESIGNATION M 440, BEING 46.06 FEET, NAVD 88, PUBLISHED BY NGS (NATIONAL GEODETIC SURVEY).



TOTAL:
LAND AREA: 109,835 SQUARE FEET OR 2.5215 ACRES MORE OR LESS
UPLAND AREA: 87,733 SQUARE FEET OR 2.0141 ACRES MORE OR LESS
WETLAND AREA: 22,102 SQUARE FEET OR 0.5074 ACRES MORE OR LESS

ZONING:

C-2 COMMERCIAL
(PROVIDED BY THE CITY OF OVIEDO)

LAND AREA:

109,835 SQUARE FEET
2.5215 ACRES
MORE OR LESS

PARKING COUNT:

REGULAR SPACES: 0
HANDICAP SPACES: 0
TOTAL SPACES: 0

Tree ID#	DBH Size	Tree Type	Tree ID#	DBH Size	Tree Type	Tree ID#	DBH Size	Tree Type
1	12"	OAK	21	3"	OAK	45	12"	CHERRY
2	14"	OAK	24	3"	OAK	46	22"	OAK
3	17"	OAK	25	24"	OAK	47	30"	FIG
4	18"	OAK	26	48"	ASH	48	10"	OAK
5	15"	OAK	27	3"	OAK	49	12"	PALM
6	21"	OAK	28	3"	OAK	50	11"	PALM
7	12"	OAK	29	3"	OAK	51	11"	PALM
8	12"	OAK	30	4"	OAK	52	11"	PALM
9	12"	OAK	31	5"	OAK	53	10"	FIG
10	17"	OAK	32	36"	ASH	54	12"	PALM
11	14"	OAK	33	22"	JUMPER	55	12"	FIG
12	10"	OAK	34	24"	OAK	56	18"	OAK
13	3"	OAK	35	12"	PALM	57	24"	OAK
14	4"	OAK	36	12"	PALM	58	18"	OAK
15	3"	OAK	37	11"	OAK	59	15"	OAK
16	4"	OAK	38	10"	FINCH	60	15"	OAK
17	3"	OAK	39	22"	OAK	61	18"	OAK
18	4"	OAK	40	12"	OAK	62	8"	PALM
19	3"	OAK	41	8"	OAK	63	8"	ASH
20	5"	OAK	42	8"	OAK	64	32"	ASH
21	3"	OAK	43	15"	OAK			
22	3"	OAK	44	8"	ASH			

CERTIFIED TO:

TO: SANFORD ACE HARDWARE, INC.
THE CITY OF OVIEDO, A FLORIDA MUNICIPAL CORPORATION

Date: 09/01/2021

JAMES D. BRAY PSM 6507

This Survey is "Not Valid" without the original signature and seal of this Florida licensed Surveyor and Mapper, unless provided with electronic signature with the ability to validate. (See: www.altamassurveying.com for instructions on signature validation). The seal appearing on this document was authorized by the signing Professional Surveyor and Mapper on the date of the electronic signature.



ADDRESS:
262 N. CENTRAL AVE
OVIEDO, FL 32765

Job Information

JOB NO. 904555
CF NO. SEM-3-7-1016
FIELD DATE: 09/01/2021
SCALE: 1" = 30'
DRAWN BY: DSK

Revisions

Date:	Description	By:
2/3/2022	TOPOGRAPHIC SURVEY	GLT
12/8/2022	New Description & City Comments	JB

Altamax Surveying

910 Belle Avenue, Suite 1105
Casselberry, FL 32708
Phone: 407-677-0200
Licensed Business No. 7833
www.altamassurveying.com



7.01
8.02
22.01

23.01
23.02

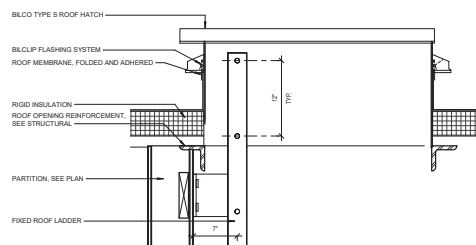
TPO ROOFING MEMBRANE ON RIGID INSULATION; SEE ROOF NOTES
 3'-0" x 2'-0" ROOF HATCH. B.O.D. SILCO S-20
 ROOF SCUPPER AND DOWNSPOUT; REFER TO SECTIONS; REFER TO
 PLUMBING
 ROOF MOUNTED CONDENSING UNITS; REFER TO MECHANICAL
 CORRUGATED METAL ROOF SCREEN ENCLOSURE, PAINTED TO MATCH
 RUI DING

Diagram illustrating the condenser unit and stand assembly. The components are labeled as follows:

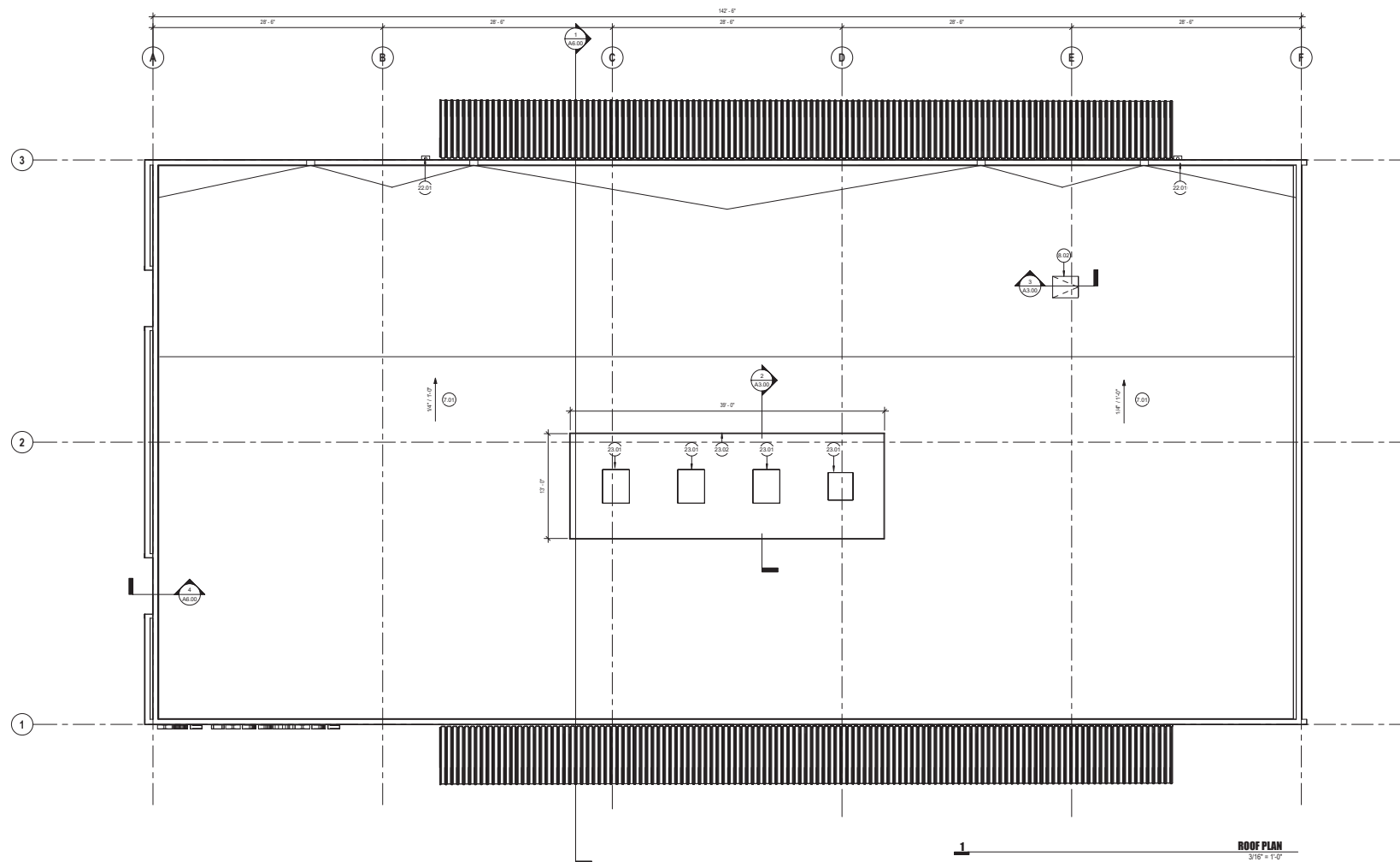
- CORRUGATED METAL PANEL, TO MATCH FINISHING
- H.S.S. STEEL TUBE, GALVANIZED, PAINTED
- LIGHT GAUGE METAL FRAMING
- CONDENSER UNITS AND STAND

The diagram shows a cross-section of the assembly. The condenser units and stand are mounted on a base. The height of the condenser units is indicated as 6'-0" APPROX.

2 **SECTION ROOFTOP EQUIPMENT SCREENING** 1/4" = 1'-0"



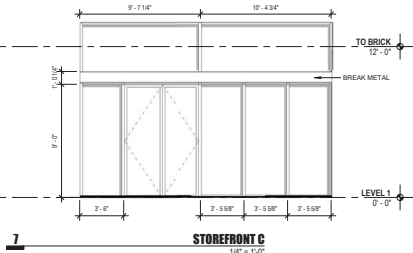
3 **DETAIL ROOF HATCH**
1 1/2" = 1'-0"



1 **ROOF PLAN**
3/16" = 1'-0"



JOEL AUSTIN SETZER
FL LIC. NO. AR56073



SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.
A5.00

PERSPECTIVE FROM STREET SIDE - BUILDING EDGE