



ACE HARDWARE - OVIEDO

23 E. FRANKLIN STREET
 OVIEDO, FLORIDA
 PARCEL ID: 10-21-31-506-0000-0060

ADO ARCHITECTURAL PLAN SET

PROJECT NUMBER 23-0024-ADO

LOCATION MAP



OWNER
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REQUESTED DEVIATIONS

- West Elevation**
- **LDC Section 8.12(4)(a)(ii) - Elevation:** A 378 Sq. Ft. deviation to a minimum 30% of area for fenestration on a primary facade to allow for 240 Sq. Ft. of fenestration on the west elevation instead of the minimum 378 Sq. Ft. of fenestration required, resulting in a 27% deviation.
 - **LDC Section 8.12(4)(a)(ii) - Articulation:** Two (2) articulation deviation articulations on the west elevation, resulting in a 67% deviation.
- North & South Elevation:**
- **LDC Section 8.12(4)(a)(ii) - Elevation:** A 304 Sq. Ft. deviation to a minimum 30% of area for fenestration on a primary facade to allow for 476 Sq. Ft. of fenestration on the north & south elevation instead of the minimum 780 Sq. Ft. of fenestration required, resulting in a 39% deviation.
 - **LDC Section 8.12(4)(a)(ii) - Articulation:** One (1) articulation deviation articulations on the north & south elevation, resulting in a 33% deviation.
- East Elevation**
- **LDC Section 8.12(4)(a)(ii) - Articulation:** One (1) articulation deviation from the required one (1) articulation on a rear facade to allow zero (0) articulations on the east elevation, resulting in a 100% deviation.

- Mitigation Techniques:**
1. (1) Other Mitigation: Brick wrap around
 2. (1) Public Art Contribution: \$1,500 donation
 3. (1) Public Art Contribution: \$1,500 donation

