

# CENTRAL SQUARE LOT OP1

1191 ALAFAYA TRAIL  
OVIEDO, FL

FOR

## TRICOR

ARCHITECT'S JOB NUMBER: 22604

ISSUE DATE:  
10-25-22



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SEAL



**TRICOR**  
270 W. NEW ENGLAND AVE.  
WINTER PARK, FL 32789  
407.629.2040

**RETAIL SHOPS**  
1191 ALAFAYA TRAIL  
OVIEDO, FL 32785



#### REVISIONS

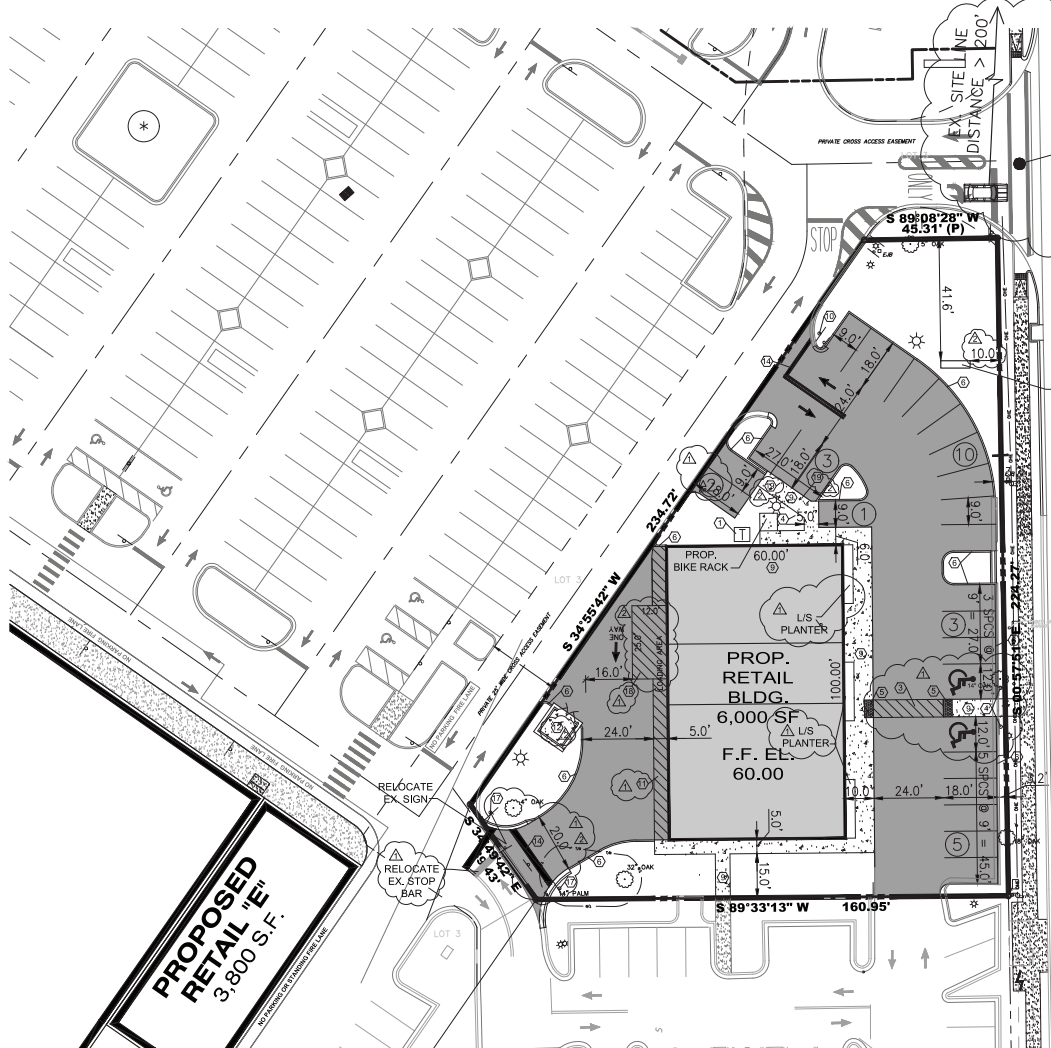
- REV 1 02-15-23
- REV 2 05-31-23
- REV 3 06-21-23

**PROJECT DATA**  
6,000  
**PROJECT NUMBER**  
22604  
**ISSUE DATE**  
10-25-22

OVIEDO, FL

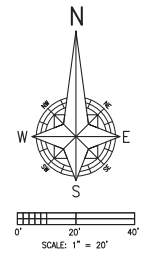


PROJECT # 23-0098-ADO		PARCEL ID #: 22-21-31-528-0000-0010	
<b>EAST ELEVATION:</b> <ul style="list-style-type: none"><li><b>LDC SECTION 8.7(C)(5)(G) (I) MATERIALS:</b> A 48 SQ. FT. DEVIATION TO A MINIMUM 20% OF AREA FOR BRICK AND/OR STONE ON A PRIMARY FACADE TO ALLOW FOR 266 SQ. FT. OF BRICK AND/OR STONE ON THE EAST ELEVATION INSTEAD OF THE MINIMUM 274 SQ. FT. OF BRICK AND/OR STONE REQUIRED, RESULTING IN A 28% DEVIATION.</li><li><b>LDC SECTION 8.7(C)(5)(G)(II) MATERIALS:</b> A 314 SQ. FT. DEVIATION TO A MAXIMUM 40% OF AREA FOR STUCCO MATERIAL ON A PRIMARY FACADE TO ALLOW FOR 742 SQ. FT. OF STUCCO MATERIAL ON THE EAST ELEVATION INSTEAD OF THE MAXIMUM 548 SQ. FT. OF STUCCO MATERIAL ALLOWED, RESULTING IN A 39% DEVIATION</li></ul>		<b>SHEET INDEX</b>	
<b>NORTH ELEVATION:</b> <ul style="list-style-type: none"><li><b>LDC SECTION 8.7(C)(4)(VI) FENESTRATION:</b> A 105 SQ. FT. DEVIATION TO A MINIMUM 20% OF AREA FOR FENESTRATION ON A SECONDARY FACADE TO ALLOW FOR 140 SQ. FT. OF FENESTRATION ON THE NORTH ELEVATION INSTEAD OF THE MINIMUM 245 SQ. FT. OF FENESTRATION REQUIRED, RESULTING IN A 40% DEVIATION.</li><li><b>LDC SECTION 8.7(C)(5)(G)(I) MATERIALS:</b> A 250 SQ. FT. DEVIATION TO A MINIMUM 50% OF AREA FOR STUCCO MATERIAL ON A SECONDARY FACADE TO ALLOW FOR 798 SQ. FT. OF STUCCO MATERIAL ON THE NORTH ELEVATION INSTEAD OF THE MAXIMUM 549 SQ. FT. OF STUCCO MATERIAL ALLOWED, RESULTING IN A 45% DEVIATION.</li></ul>			
<b>SOUTH ELEVATION:</b> <ul style="list-style-type: none"><li><b>LDC SECTION 8.7(C)(4)(VI) FENESTRATION:</b> A 105 SQ. FT. DEVIATION TO A MINIMUM 20% OF AREA FOR FENESTRATION ON A SECONDARY FACADE TO ALLOW FOR 140 SQ. FT. OF FENESTRATION ON THE SOUTH ELEVATION INSTEAD OF THE MINIMUM 245 SQ. FT. OF FENESTRATION REQUIRED, RESULTING IN A 40% DEVIATION.</li><li><b>LDC SECTION 8.7(C)(5)(G)(I) MATERIALS:</b> A 217 SQ. FT. DEVIATION TO A MAXIMUM 50% OF AREA FOR STUCCO MATERIAL ON A SECONDARY FACADE TO ALLOW FOR 798 SQ. FT. OF STUCCO MATERIAL ON THE SOUTH ELEVATION INSTEAD OF THE MAXIMUM 582 SQ. FT. OF STUCCO MATERIAL ALLOWED, RESULTING IN A 37% DEVIATION.</li></ul>			
<b>MITIGATION TECHNIQUES: PER LDC 8.3 (B) DEVIATIONS AND MITIGATIONS</b> <ul style="list-style-type: none"><li>(2) PAYMENTS OF \$2,500 WILL BE MADE TO THE CITY OF OVIEDO'S PUBLIC ART FUND</li></ul>			
<b>OWNER:</b>  TRICOR  270 W. NEW ENGLAND AVE. WINTER PARK, FL 32789  CONTACT: CURT MILLER 407.309.6738 CURT@TRICOR.NET		<b>ARCHITECT OF RECORD:</b>  NARRAMORE ASSOCIATES, INC. DAVID L. NARRAMORE  310 MILLS AVE., STE. 203 GREENVILLE, SC 29605 864.242.9881  CONTACT: TREY LILES 864.242.9881 ext. 110 trey@narramore.net	
		<b>LOCATION MAP:</b> 	



### STRIPING & SIGNAGE LEGEND

- ① TRANSFORMER PAD
- ② 6" CROSSWALK
- ③ HANDICAP PARKING SIGN
- ④ ADA DETECTABLE WARNING MATS
- ⑤ 6" x 18" HEADER CURB
- ⑥ CONCRETE SIDEWALK
- ⑦ 30" STOP SIGN (R1-1)
- ⑧ STRIPED LOADING AREA
- ⑨ TRASH DUMPSTER ENCLOSURE
- ⑩ 24" STOP BAR
- ⑪ "DO NOT ENTER" SIGN
- ⑫ 12' x 25' LOADING SPACE
- ⑬ ELECTRIC CHARGING STATION



### LEGEND

- PROPOSED BUILDING
- PROPOSED PAVEMENT
- PROPOSED CONCRETE

### SITE DATA:

AREA:	27,444 SF 0.63 AC
EXISTING LAND USE:	COMMERCIAL-VACANT
PROPOSED LAND USE:	GENERAL COMMERCIAL
EXISTING ZONING:	C-2
PROPOSED ZONING:	C-2
EXISTING FLU:	CM (COMMERCIAL)
PROPOSED FLU:	CM (COMMERCIAL)
BUILDING AREA:	6,000 SF
MAX. F.A.R. ALLOWED:	0.50
PROPOSED F.A.R. (TOTAL ACREAGE - WETLANDS)	6000 SF / (27,444 SF - 0 SF) = 0.219
MAX. IMPERVIOUS ALLOWED:	80% (OVIEDO/SJRWMD)
IMPERVIOUS AREA:	20,358 SF (74.2%)
BUILDING:	6,000 SF
PARKING & DRIVES:	12,435 SF
CONCRETE & SW:	1,923 SF
OPEN SPACE:	7,086 SF (26.8%)
MAX. BLDG. HEIGHT ALLOWED:	60 FEET
PROPOSED BLDG. HEIGHT:	23'-8"

### CENTRAL SQUARE SHOPPING CENTER OPEN SPACE CALCS

TOTAL PROJECT AREA:	13.10 AC±
REQUIRED (APPROVED) =	25% = 142,663 SF
PROVIDED:	
SHOPPING CENTER	193,039 SF
PARCEL OP 2	12,378 SF
PARCEL OP 1	6,862 SF
TOTAL	212,639 SF (37.3%)

### CENTRAL SQUARE SHOPPING CENTER IMPERVIOUS AREA CALCS

MAXIMUM ALLOWED = 75% = 427,977 SF	
PROVIDED:	
SHOPPING CENTER	299,288 SF
PARCEL OP 2	38,143 SF
PARCEL OP 1	20,582 SF
TOTAL	358,013 SF (62.7%)

### PARKING CALCULATIONS:

REQUIRED PARKING:  
6,000 SF GENERAL RETAIL  
(NOTE: CENTRAL SQUARE DEVELOPMENT AGREEMENT = 4.25 / 1,000 SF)  
TOTAL PARKING SPACES REQ'D 26 SPACES

PROVIDED PARKING:  
REGULAR SPACES (9' x 20') 24 SPACES  
HANDICAP SPACES 2 SPACES  
TOTAL SPACES PROVIDED 26 SPACES

LOADING AREA:  
SPACES REQUIRED (1 SPACE / 10,000 GSF) 1 SPACES  
6,000 SF / 10,000 GSF 1 SPACES  
SPACES PROVIDED: 1 SPACES

BICYCLE PARKING REQUIRED:  
5% OF REQUIRED PARKING 26 SPACES (5%) = 2 SPACES  
BICYCLE PARKING PROVIDED:  
1 - 3 SPACE BIKE RACK

**TRIP GENERATION:**  
PROPOSED USE:  
6000 SF (822, ITE 11TH ED.)  
DAILY TRIPS:  
(822) 54.45 TRIPS/KSF = 327 DAILY TRIPS  
PEAK HOUR TRIPS:  
(822) 6.59 TRIPS/KSF = 40 PEAK HR TRIPS

BUILDING SETBACKS		
LOCATION	REQUIRED	PROVIDED
FRONT (ALAFAYA TRAIL)	30 FEET	55 FEET MIN.
SIDE (INTERIOR PROPERTY LINES)	0 FEET	3 FEET MIN.
SIDE (ADJ. COMMERCIAL PARCELS, NOT PART OF PLAZA)	10 FEET	20 FEET

### OWNERSHIP STATEMENT:

OWNED, MAINTAINED AND OPERATED UNDER ONE OWNER.

- DEVELOPMENT NOTES:**
- ALL EXISTING SIDEWALKS WILL REMAIN. ANY SEGMENTS IMPACTED BY CONSTRUCTION WILL BE REPLACED.
  - OUTDOOR DISPLAY OF MERCHANDISE IS PROHIBITED UNLESS APPROVED BY THE CITY OF OVIEDO.
  - ALL GROUND MECHANICAL EQUIPMENT WILL BE SCREENED BY LANDSCAPING.
  - DUMPSTER ENCLOSURE WILL ADHERE TO ARCHITECTURAL SCREENING.

DATE: OCTOBER 18, 2022

SCALE: 1" = 20'

PROJECT: CENTRAL SQUARE SHOPPING CENTER

CLIENT: AMERICAN CIVIL ENGINEERING CO.

DESIGNER: THOMAS H. SKELTON, P.E.

REGISTERED NO. 42752

DATE: OCTOBER 18, 2022

SCALE: 1" = 20'

PROJECT: CENTRAL SQUARE SHOPPING CENTER

CLIENT: AMERICAN CIVIL ENGINEERING CO.

DESIGNER: THOMAS H. SKELTON, P.E.

REGISTERED NO. 42752

DATE: OCTOBER 18, 2022

SCALE: 1" = 20'

PROJECT: CENTRAL SQUARE SHOPPING CENTER

CLIENT: AMERICAN CIVIL ENGINEERING CO.

DESIGNER: THOMAS H. SKELTON, P.E.

REGISTERED NO. 42752

DATE: OCTOBER 18, 2022

SCALE: 1" = 20'

PROJECT: CENTRAL SQUARE SHOPPING CENTER

CLIENT: AMERICAN CIVIL ENGINEERING CO.

DESIGNER: THOMAS H. SKELTON, P.E.

REGISTERED NO. 42752

DATE: OCTOBER 18, 2022

SCALE: 1" = 20'

PROJECT: CENTRAL SQUARE SHOPPING CENTER

CLIENT: AMERICAN CIVIL ENGINEERING CO.

DESIGNER: THOMAS H. SKELTON, P.E.

REGISTERED NO. 42752

DATE: OCTOBER 18, 2022

SCALE: 1" = 20'

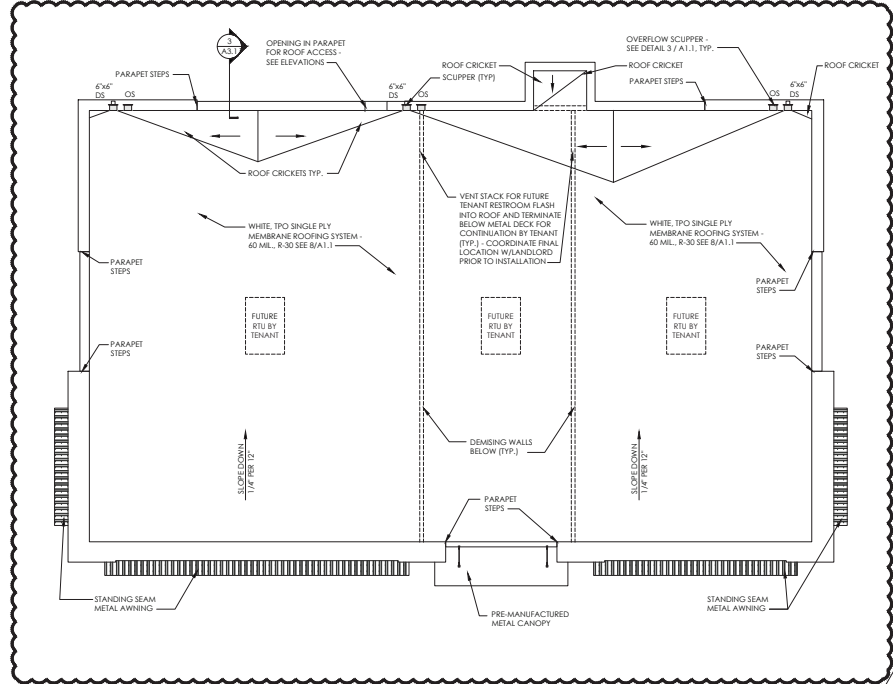
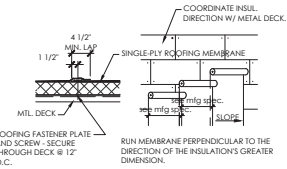
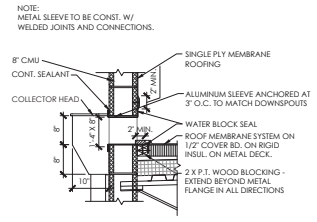
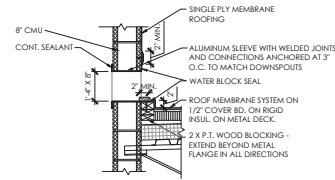
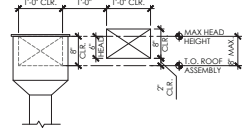
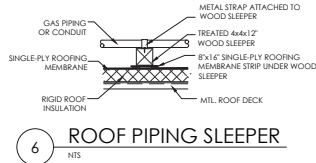
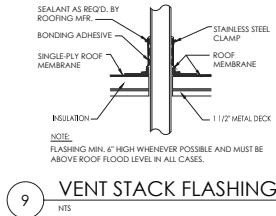
PROJECT: CENTRAL SQUARE SHOPPING CENTER

CLIENT: AMERICAN CIVIL ENGINEERING CO.

DESIGNER: THOMAS H. SKELTON, P.E.

REGISTERED NO. 42752





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WINTER PARK, FL 32789  
407.629.2040



**REVISIONS**  
△ REV 1 02-15-23

**PROJECT DATA**  
6,000  
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22604  
**ISSUE DATE**  
10-25-22

OVIEDO, FL  
**A1.1**  
ROOF PLAN







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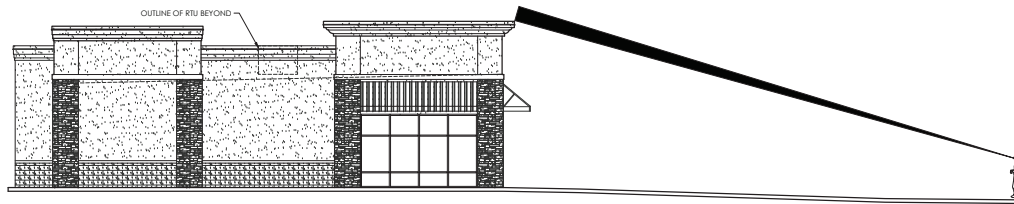
**RETAIL SHOPS**  
1191 ALAFAYA TRAIL  
OVIEDO, FL 32765

**REVISIONS**  
△ REV 2 XX-XX-23

**PROJECT DATA**  
6,000  
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22604  
**ISSUE DATE**  
10-25-22

OVIEDO, FL

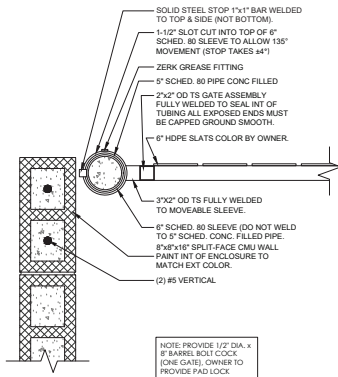
**A2.1**  
LINE OF SIGHT  
DIAGRAMS



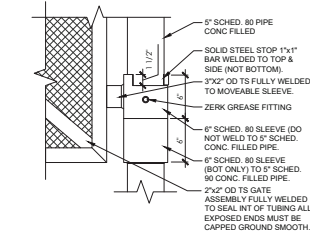
2  
LINE OF SIGHT FROM  
ALAFAYA TRAIL  
SCALE: 1/8" = 1'-0"



1  
LINE OF SIGHT FROM  
PARKING LOT  
SCALE: 1/8" = 1'-0"



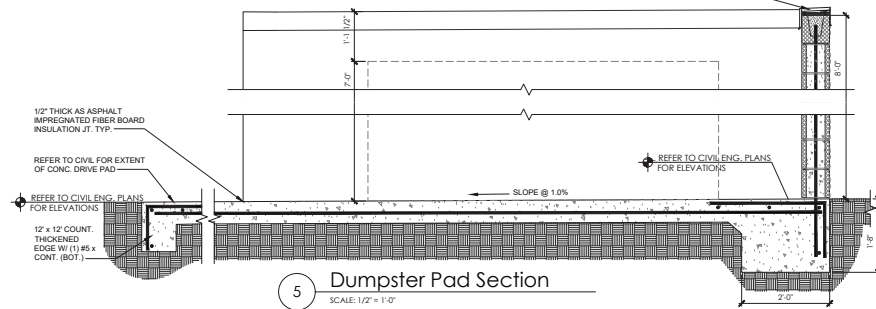
7 Hinge Plan Detail  
SCALE: 1 1/2" = 1'-0"



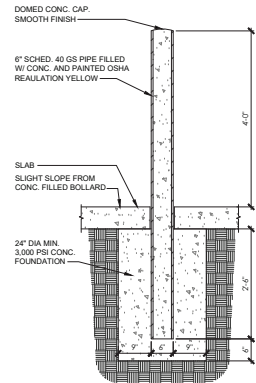
6 Hinge Elevation  
SCALE: 1 1/2" = 1'-0"

NOTE:  
THE DUMPSTER ENCLOSURE IS TO  
BE A MINIMUM 12" TALLER THAN  
THE DUMPSTER.

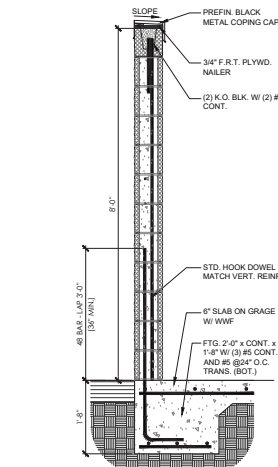
NOTE:  
PAINT THE DUMPSTER ENCLOSURE  
P-4 "GAUNTLET GREY" TO MATCH  
THE PRINCIPLE BUILDING.



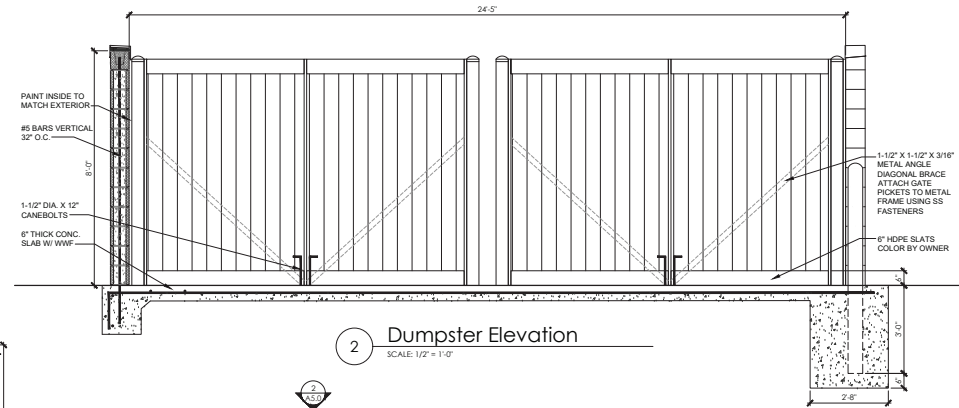
5 Dumpster Pad Section  
SCALE: 1/2" = 1'-0"



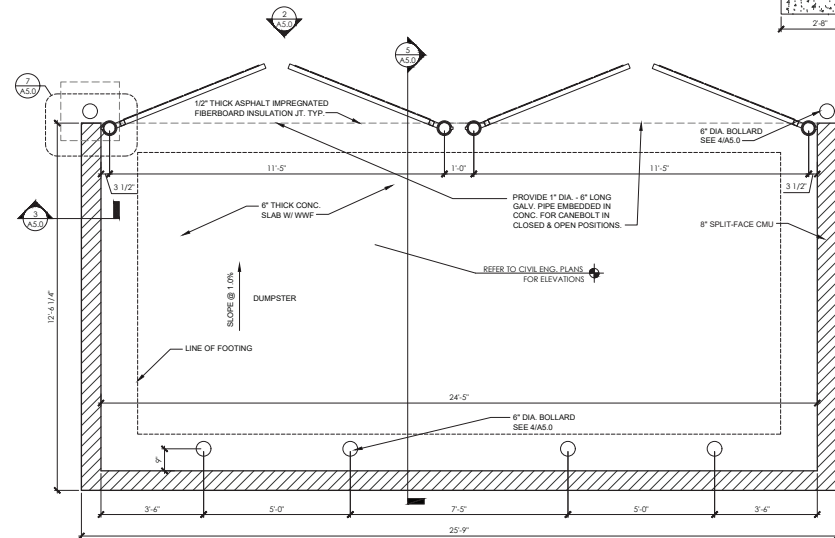
4 Bollard Detail  
SCALE: 3/4" = 1'-0"



3 Dumpster Section  
SCALE: 3/4" = 1'-0"



2 Dumpster Elevation  
SCALE: 1/2" = 1'-0"



1 Dumpster Enclosure Plan  
SCALE: 1/2" = 1'-0"



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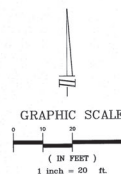
**RETAIL SHOPS**  
1991 ALAPAYA TRAIL  
OVIEDO, FL 32765

**REVISIONS**  
△ REV 1 02-15-23

**PROJECT DATA**  
6,000  
**PROJECT NUMBER**  
22804  
**ISSUE DATE**  
10-25-22

OVIEDO, FL

**A5.0**  
DUMPSTER  
ENCLOSURE



- [illegible]

**1) SURVEY MAP REPORT/NOTES**

1) SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RASSED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

2) PROPERTY SHOWN HEREON LIES IN FLOOD ZONE "X" ACCORDING TO FIRM, MAP PANEL NO. 1217C0109 D, DATED SEPTEMBER 26, 2007. THE FLOOD INSURANCE RATE MAP IS NOT A SURVEY. FLOOD ZONE DETERMINATION IS AN OPINION ONLY.

3) DISTANCES SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

4) UNLESS NOTED OTHERWISE, NO UNDERGROUND IMPROVEMENTS, FOUNDATIONS/FOOTERS OR ROOF OVERHANGS HAVE BEEN LOCATED. ENVIRONMENTAL CONDITIONS AND GOVERNMENTAL REQUIREMENTS NOT DETERMINED BY SURVEYOR, EXCEPT AS EXPRESSLY STATED ON THIS SURVEY.

5) SYMBOLS NOT TO SCALE.

6) OWNERSHIP OF SUBJECT PROPERTY AND IMPROVEMENTS UNDETERMINED BY SURVEYOR.

7) THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1" = 20'.

8) BUILDING TIES ARE NOT TO BE USED TO CONSTRUCT DEED OR PLATTED LINES

9) TITLE SEARCH WAS NOT PERFORMED BY SURVEYOR. LEGAL DESCRIPTION AND RECORD INFORMATION PROVIDED BY CLIENT. SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITTEE.

10) BEARINGS SHOWN HEREON ARE BASED ON THE WEST LINE OF LOT 1, BEING S 34°30'42" W PER THE RECORD PLAT.

11) BEARINGS SHOWN HEREON ARE BASED ON SEMINOLE COUNTY BENCHMARK #814203, HAVING AN ELEVATION OF 81.861 (NAD83 DATUM).

12) POTENTIAL BOUNDARY INCONSISTENCIES OBSERVED: AS NOTED HEREON.

13) TIES 4" & LARGER WERE LOCATED AND IDENTIFIED WITH A GENERIC DESCRIPTION. IF MORE SPECIFIC IDENTIFICATION IS NECESSARY, CLIENT WILL NEED TO CONTACT AN ARBORIST.

LOT 1, CENTRAL SQUARE SHOPPING CENTER, AS RECORDED IN PLAT BOOK 83, PAGES 90-95, OF THE PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA.

**NOTICE OF COPYRIGHT:**  
ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN  
SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE  
SIGNING PARTY OR PARTIES.

TRICOR

**PREPARED FOR**

**Associated Land Surveying  
& Mapping, Inc.**

SCALE	1" = 20'
DWG NO.	22102.DWG
JOB NO.	22102
SURVEY DATE	11/17/2022

**SURVEY MEETS OR CORRECTS THE STANDARDS**

BY THE FLORIDA BOARD OF SURVEYS AND MAPPING  
ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES  
DATED LAND SURVEYS AND MAPPING, INC.

*Paul D. Reed Jr.*

☐ 640 W. MONROE DRIVE, SUITE 479  
DADE COUNTY, FL 33134  
AND P.O. BOX 8, CLIFTON PARK, FL 33111

SHEET NO  
1 of 1