

# CENTRAL SQUARE LOT OP1

1191 ALAFAYA TRAIL  
OVIEDO, FL

FOR

## TRICOR

ARCHITECT'S JOB NUMBER: 22604

ISSUE DATE:  
10-25-22



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SEAL



<b>PROJECT #:</b> 23-0098-ADO		<b>PARCEL ID #:</b> 22-21-31-528-0000-0010	
<p><b>EAST ELEVATION:</b></p> <ul style="list-style-type: none"> <li><b>LDC SECTION 8.7(C)(5)(G)(I) MATERIALS:</b> A 48 SQ. FT. DEVIATION TO A MINIMUM 20% OF AREA FOR BRICK AND/OR STONE ON A PRIMARY FACADE TO ALLOW FOR 286 SQ. FT. OF BRICK AND/OR STONE ON THE EAST ELEVATION INSTEAD OF THE MINIMUM 274 SQ. FT. OF BRICK AND/OR STONE REQUIRED, RESULTING IN A <b>28% DEVIATION</b>.</li> <li><b>LDC SECTION 8.7(C)(5)(G)(II) MATERIALS:</b> A 314 SQ. FT. DEVIATION TO A MAXIMUM 40% OF AREA FOR STUCCO MATERIAL ON A PRIMARY FACADE TO ALLOW FOR 742 SQ. FT. OF STUCCO MATERIAL ON THE EAST ELEVATION INSTEAD OF THE MAXIMUM 548 SQ. FT. OF STUCCO MATERIAL ALLOWED, RESULTING IN A <b>39% DEVIATION</b>.</li> </ul> <p><b>NORTH ELEVATION:</b></p> <ul style="list-style-type: none"> <li><b>LDC SECTION 8.7(C)(4)(VI) FENESTRATION:</b> A 105 SQ. FT. DEVIATION TO A MINIMUM 20% OF AREA FOR FENESTRATION ON A SECONDARY FACADE TO ALLOW FOR 140 SQ. FT. OF FENESTRATION ON THE NORTH ELEVATION INSTEAD OF THE MINIMUM 265 SQ. FT. OF FENESTRATION REQUIRED, RESULTING IN A 40% DEVIATION.</li> <li><b>LDC SECTION 8.7(C)(5)(G)(I) MATERIALS:</b> A 250 SQ. FT. DEVIATION TO A MINIMUM 50% OF AREA FOR STUCCO MATERIAL ON A SECONDARY FACADE TO ALLOW FOR 798 SQ. FT. OF STUCCO MATERIAL ON THE NORTH ELEVATION INSTEAD OF THE MAXIMUM 549 SQ. FT. OF STUCCO MATERIAL ALLOWED, RESULTING IN A 45% DEVIATION.</li> </ul> <p><b>SOUTH ELEVATION:</b></p> <ul style="list-style-type: none"> <li><b>LDC SECTION 8.7(C)(4)(VI) FENESTRATION:</b> A 105 SQ. FT. DEVIATION TO A MINIMUM 20% OF AREA FOR FENESTRATION ON A SECONDARY FACADE TO ALLOW FOR 140 SQ. FT. OF FENESTRATION ON THE SOUTH ELEVATION INSTEAD OF THE MINIMUM 265 SQ. FT. OF FENESTRATION REQUIRED, RESULTING IN A 40% DEVIATION.</li> <li><b>LDC SECTION 8.7(C)(5)(G)(I) MATERIALS:</b> A 217 SQ. FT. DEVIATION TO A MAXIMUM 50% OF AREA FOR STUCCO MATERIAL ON A SECONDARY FACADE TO ALLOW FOR 798 SQ. FT. OF STUCCO MATERIAL ON THE SOUTH ELEVATION INSTEAD OF THE MAXIMUM 582 SQ. FT. OF STUCCO MATERIAL ALLOWED, RESULTING IN A 37% DEVIATION.</li> </ul> <p><b>MITIGATION TECHNIQUES: PER LDC 8.3 (B) DEVIATIONS AND MITIGATIONS</b></p> <ul style="list-style-type: none"> <li>(2) PAYMENTS OF \$2,500 WILL BE MADE TO THE CITY OF OVIEDO'S PUBLIC ART FUND</li> </ul>	<b>SHEET INDEX</b>		
<p><b>OWNER:</b></p> <p>TRICOR</p> <p>270 W. NEW ENGLAND AVE. WINTER PARK, FL 32789</p> <p><b>CONTACT:</b> CURT MILLER 407.309.6738 CURT@TRICOR.NET</p>	<b>ARCHITECT OF RECORD:</b>		
<p>NARRAMORE ASSOCIATES, INC. DAVID L. NARRAMORE</p> <p>310 MILLS AVE., STE. 203 GREENVILLE, SC 29605 864.242.9881</p> <p><b>CONTACT:</b> TREY LILES 864.242.9881 ext. 110 treyl@narramore.net</p>		<b>LOCATION MAP:</b>	
<p><b>NOTES</b></p> <ol style="list-style-type: none"> <li>HARRAMORE ASSOCIATES, INC. HAS NOT BEEN ENGAGED TO DO MINIMUM "ON-SITE" CONSTRUCTION ADMINISTRATION SERVICES.</li> <li>HARRAMORE ASSOCIATES, INC. HAS NOT BEEN ENGAGED TO PERFORM ANY SURVEYS OR CIVIL ENGINEERING. ALL SURVEYS AND CIVIL FILES SUBMITTED WITH THIS SET HAVE BEEN CREATED BY OTHERS AND ARE BEING SUBMITTED AT THE REQUEST OF THE ARCHITECTURAL REVIEW COMMITTEE.</li> </ol>			

**TRICOR**  
270 W. NEW ENGLAND AVE.  
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407.629.2040

**RETAIL SHOPS**  
1191 ALAFAYA TRAIL  
OVIEDO, FL 32785

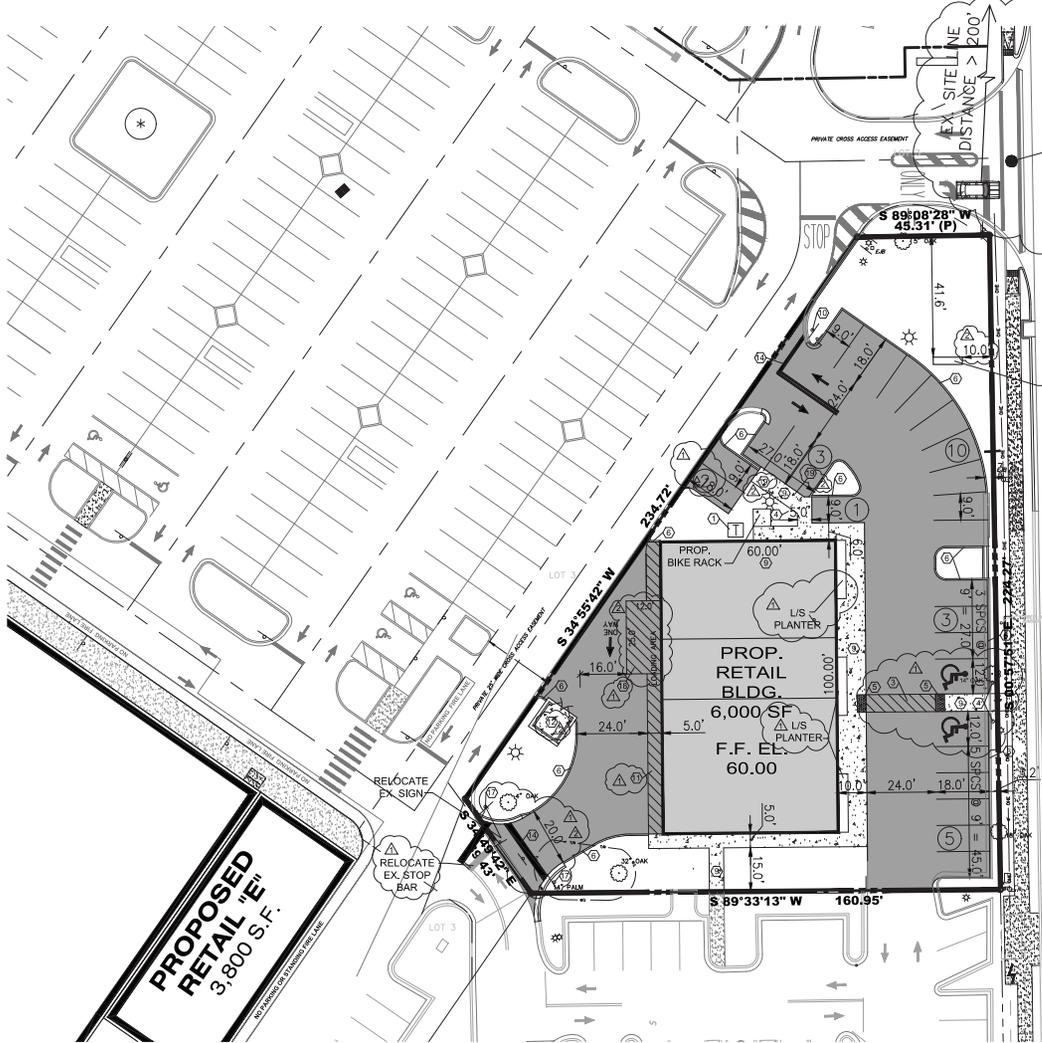
**REVISIONS**

- REV 1 02-15-23
- REV 2 05-31-23
- REV 3 06-21-23

**PROJECT DATA**  
6,000  
**PROJECT NUMBER**  
22604  
**ISSUE DATE**  
10-25-22

OVIEDO, FL





**STRIPING & SIGNAGE LEGEND**

- ① TRANSFORMER PAD
- ② CROSSWALK
- ③ HANDICAP PARKING SIGN
- ④ ADA DETECTABLE WARNING MATS
- ⑤ 6" x 18" HEADER CURB
- ⑥ CONCRETE SIDEWALK
- ⑦ 30" STOP SIGN (R1-1)
- ⑧ STRIPED LOADING AREA
- ⑨ TRASH DUMPSTER ENCLOSURE
- ⑩ 24" STOP BAR
- ⑪ "DO NOT ENTER" SIGN
- ⑫ 12' x 25' LOADING SPACE
- ⑬ ELECTRIC CHARGING STATION



**LEGEND**

- PROPOSED BUILDING
- PROPOSED PAVEMENT
- PROPOSED CONCRETE

**SITE DATA:**

AREA: 27,444 SF 0.63 AC  
 EXISTING LAND USE: COMMERCIAL-VACANT  
 PROPOSED LAND USE: GENERAL COMMERCIAL  
 EXISTING ZONING: C-2  
 PROPOSED ZONING: C-2  
 EXISTING FLU: CM (COMMERCIAL)  
 PROPOSED FLU: CM (COMMERCIAL)  
 BUILDING AREA: 6,000 SF  
 MAX. F.A.R. ALLOWED: 0.50  
 PROPOSED F.A.R.: 6000 SF / (27,444 SF - 0 SF) = 0.219  
 (TOTAL ACREAGE - WETLANDS)  
 MAX. IMPERVIOUS ALLOWED: 80% (OVIEDOISJRWMD)  
 IMPERVIOUS AREA: 20,358 SF (74.2%)  
 BUILDING: 6,000 SF  
 PARKING & DRIVES: 12,435 SF  
 CONCRETE & SW: 1,923 SF  
 OPEN SPACE: 7,086 SF (26.8%)  
 MAX. BLDG. HEIGHT ALLOWED: 60 FEET  
 PROPOSED BLDG. HEIGHT: 23'-8"

**CENTRAL SQUARE SHOPPING CENTER OPEN SPACE CALCS**

TOTAL PROJECT AREA:	13.10 AC±
REQUIRED (APPROVED) =	25% = 142,663 SF
PROVIDED:	
SHOPPING CENTER	193,039 SF
PARCEL OP 2	12,378 SF
PARCEL OP 1	6,862 SF
TOTAL	212,639 SF (37.3%)

**CENTRAL SQUARE SHOPPING CENTER IMPERVIOUS AREA CALCS**

MAXIMUM ALLOWED =	75% = 427,977 SF
PROVIDED:	
SHOPPING CENTER	299,288 SF
PARCEL OP 2	38,143 SF
PARCEL OP 1	20,582 SF
TOTAL	358,013 SF (62.7%)

**PARKING CALCULATIONS:**

REQUIRED PARKING:  
 6,000 SF GENERAL RETAIL  
 (NOTE: CENTRAL SQUARE DEVELOPMENT AGREEMENT = 4.25 / 1000 SF)  
 TOTAL PARKING SPACES REQ'D: 26 SPACES

PROVIDED PARKING:  
 REGULAR SPACES (9' x 20') 24 SPACES  
 HANDICAP SPACES: 2 SPACES  
 TOTAL SPACES PROVIDED: 26 SPACES

LOADING AREA:  
 SPACES REQUIRED (1 SPACE / 10,000 GSF) 1 SPACES  
 6,000 SF / 10,000 GSF: 1 SPACES  
 SPACES PROVIDED: 1 SPACES

BICYCLE PARKING REQUIRED:  
 5% OF REQUIRED PARKING 26 SPACES (5%) = 2 SPACES  
 BICYCLE PARKING PROVIDED:  
 1-3 SPACE BIKE RACK

**TRIP GENERATION:**  
 PROPOSED USE:  
 6000 SF (822, ITE 11TH ED.)  
 DAILY TRIPS  
 (822) 14.45 TRIPS/KSF = 327 DAILY TRIPS  
 PEAK HOUR TRIPS  
 (822) 6.59 TRIPS/KSF = 40 PEAK HR TRIPS

**BUILDING SETBACKS**

LOCATION	REQUIRED	PROVIDED
FRONT (ALAFAYA TRAIL)	30 FEET	55 FEET MIN.
SIDE (INTERIOR PROPERTY LINES)	0 FEET	3 FEET MIN.
SIDE (ADJ. COMMERCIAL PARCELS, NOT PART OF PLAZA)	10 FEET	20 FEET

**OWNERSHIP STATEMENT:**

OWNED, MAINTAINED AND OPERATED UNDER ONE OWNER.

**DEVELOPMENT NOTES:**

1. ALL EXISTING SIDEWALKS WILL REMAIN. ANY SEGMENTS IMPACTED BY CONSTRUCTION WILL BE REPLACED.
2. OUTDOOR DISPLAY OF MERCHANDISE IS PROHIBITED UNLESS APPROVED BY THE CITY ENGINEER.
3. ALL GROUND MECHANICAL EQUIPMENT WILL BE SCREENED BY LANDSCAPING.
4. DUMPSTER ENCLOSURE WILL ADHERE TO ARCHITECTURAL SCREENING.

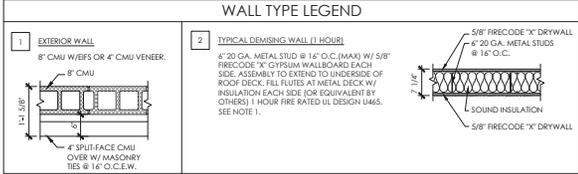
OCTOBER 18, 2022  
 SCALE: 1" = 20'  
 DRAWN BY: MJS  
 CHECKED BY: MJS  
 DATE: 10/18/2022  
 PROJECT NO.: 21530  
 PROJECT NAME: CENTRAL SQUARE SHOPPING CENTER  
 CLIENT: AMERICAN CIVIL ENGINEERING CO.  
 PROJECT ADDRESS: 434 ALAFAYA TRAIL, SUITE 100, OVIEDO, FLORIDA 32765  
 PROJECT DESCRIPTION: CENTRAL SQUARE SHOPPING CENTER  
 SHEET NO.: C6

**AMERICAN CIVIL ENGINEERING CO.**  
 434 ALAFAYA TRAIL, SUITE 100, OVIEDO, FLORIDA 32765  
 (407) 885-0000  
 WWW.AMERICAN-CIVIL-ENGINEERING.COM

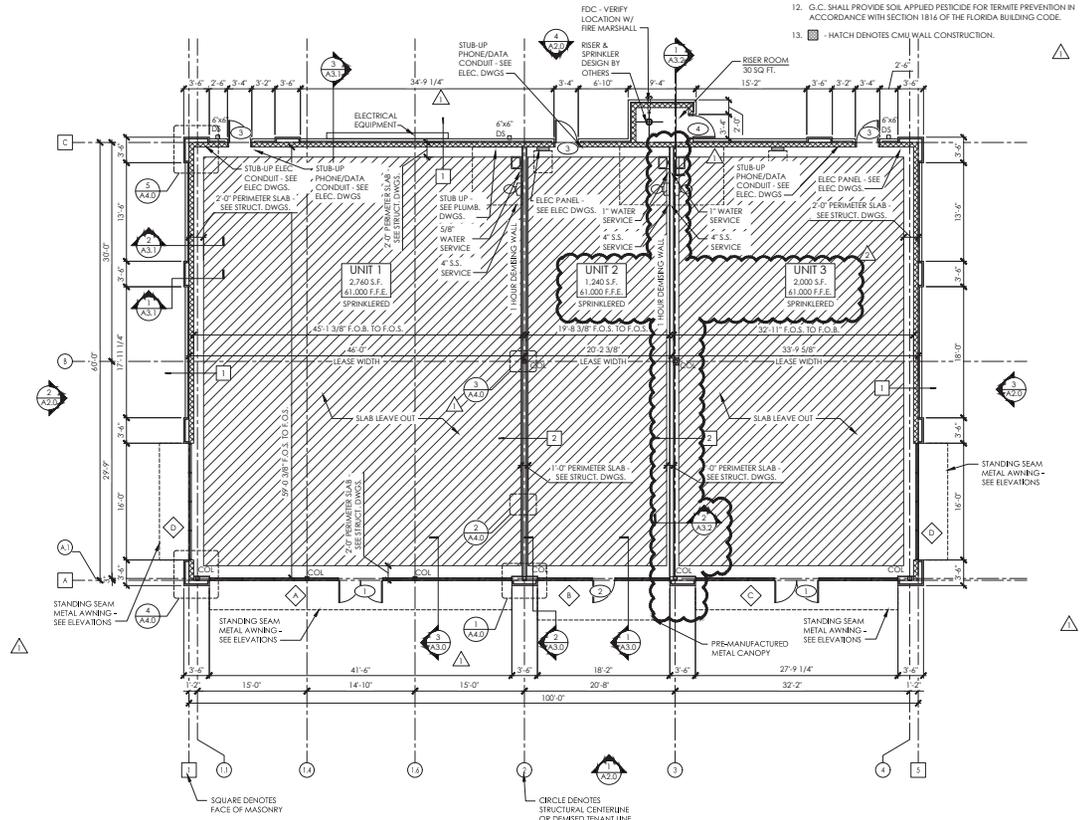
**SITE PLAN**  
**CENTRAL SQUARE OP-1**  
 OVIEDO, FLORIDA

THOMAS H. SKELTON, PE  
 REGISTRATION NO. 42725

- GENERAL NOTES:**
1. STOREFRONT NOTES:
    - A. ALL GLAZING IS 1" DOUBLE GLAZED, LOW "E", CLEAR, NON-TINTED, NON-REFLECTIVE. ALL GLAZING NEEDS TO BE LISTED TO MEET LOCAL WIND LOADS AND CORRESPONDING DP RATINGS.
    - B. ALL FRAMES EQUAL TO KAWNEER 451T SERIES STOREFRONT SYSTEM.
    - C. "T" DENOTES TEMPERED GLAZING WHERE REQUIRED BY CODE.
    - D. COLOR: DARK BRONZE.
    - E. SEE SHEET A6.2 FOR STOREFRONT FLASHING DETAILS.
  2. PROVIDE F.R. PLYWOOD SHEATHING AT SIGNAGE AREA FOR EACH UNIT. SEE WALL SECTIONS.
  3. CONTROL JOINTS TO BE PROVIDED AT CMU, BRICK, AND EIFS.



- GENERAL NOTES:**
1. THESE DOCUMENTS ARE INTENDED TO DESCRIBE THE WORK REQUIRED TO CONSTRUCT THE BUILDING SHELL AS DENOTED, AS WELL AS PROVIDE TYPICAL DESIGNS FOR LEASE UNITS OF THE SIZES INDICATED. THESE TYPICAL DESIGNS ARE BASED ON THE OWNER'S STANDARD LEASE UNITS AND ARE NOT INTENDED TO BE SPECIFICALLY DESIGNED FOR INDIVIDUAL TENANTS. PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE THE SPECIFIC TENANT REQUIREMENTS FOR EACH SPACE TO INCLUDE: INTERIOR WALL LOCATIONS, TOILET REQUIREMENTS, MECHANICAL REQUIREMENTS, POWER & LIGHTING REQUIREMENTS, REAR DOOR LOCATIONS, STOREFRONT REQUIREMENTS, ETC.
  2. FOR ALL RATED CONSTRUCTION AND RATED PENETRATIONS, SEE SHEET G1.1.
  3. FOR ALL DOOR HARDWARE SCHEDULES, DOOR SCHEDULES AND WALL TYPES, REFER TO SHEET A6.0.
  4. (EXPOSED PIPES AND SURFACES) HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL NOT BE SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
  5. SEE SHEET L51.0 FOR KNOX BOX AND FIRE EXTINGUISHER LOCATIONS. ALL EXTINGUISHERS ARE TO BE SUPPLIED BY TENANT AT TIME OF UPPF.
  6. REFER TO CIVIL ENGINEERING DRAWINGS FOR HC ACCESSIBLE PARKING SPACES AND CURB CUT LOCATIONS.
  7. REFER TO EXTERIOR ELEVATIONS FOR LOCATION OF ALL SAFETY GLAZING.
  8. PROVIDE 1/2" FIBER EXPANSION JOINTS FULL WIDTH OF SIDEWALK AT COLUMN LINES.
  9. MAXIMUM SLOPE OF SIDEWALKS TO BE 1:20. MAXIMUM CROSS-SLOPE IS 1:50.
  10. SLOPE NEAR CONCRETE SIDEWALK TO GRADE AT 1:20 (MAX).
  11. ALL FIRE WALLS AND FIRE RATED PARTITIONS SHALL BE IDENTIFIED WITH SIGNAGE AS TO FIRE RATING AND PROTECTION OF OPENINGS. STENCIL IN CONCEALED SPACES THE FOLLOWING: [ ] HOUR FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS. IDENTIFICATION SHALL BE SPACED NO MORE THAN 12'-0" O.C. WITH A MINIMUM LETTER SIZE OF 2" IN HEIGHT ON A CONTRASTING BACKGROUND.
  12. G.C. SHALL PROVIDE SOIL APPLIED PESTICIDE FOR TERMITES PREVENTION IN ACCORDANCE WITH SECTION 1814 OF THE FLORIDA BUILDING CODE.
  13. [ ] - HATCH DENOTES CMU WALL CONSTRUCTION.



**1 FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

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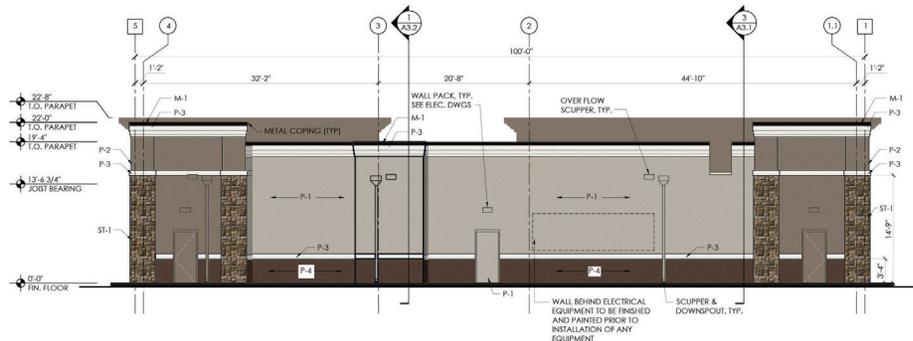
**RETAIL SHOPS**  
1197 ALAFAYA TRAIL  
OWIEDO, FL 32785

**REVISIONS**  
△ REV 1 02-15-23  
△ REV 2 XX-XX-XX

**PROJECT DATA**  
6,000  
**PROJECT NUMBER**  
22804  
**ISSUE DATE**  
10-25-22

OWIEDO, FL  
**A1.0**  
FLOOR PLAN





4 WEST/REAR ELEVATION  
SCALE: 1/8" = 1'-0"

MATERIALS SCHEDULE	
M-1	- METAL COPING CAP - BLACK
P-1	- SW7023 'REQUISITE GRAY'
P-2	- SW7025 'BACKDROP'
P-3	- SW7005 'PURE WHITE'
P-4	- SW7510 'CHATEAU BROWN'
ST-1	- BORAL - ROCKFACE - BRUCKS COUNTY
STOREFRONT - DARK BRONZE ANODIZED FINISH	
STANDING SEAM METAL AWNING - BLACK - KYNAR 500 FINISH - (ALSO ON THE UNDERSIDE OF THE AWNING AND FRAMING)	
CANOPY - BLACK - KYNAR 500 FINISH	
SPRUEFACE CMU - PAINTED- SEE ELEVATIONS FOR COLORS	

- EXTERIOR FINISH NOTES**
- MASONRY CONTROL JOINTS SHALL BE LOCATED AS SHOWN ON ELEVATIONS, SHALL BE CONTIGUOUS FROM FINISHED GRADE TO PARAPET, AND SHALL PENETRATE THROUGH CORNICES.
  - ALL ALUMINUM STOREFRONT MEMBERS AND DISPOSED HARDWARE TO HAVE DARK BRONZE ANODIZED FINISH. PRIOR TO ORDERING CONTRACTOR TO VERIFY COLOR WITH OWNER.
  - SIGNAGE IS SHOWN FOR REFERENCE ONLY. ALL SIGNAGE TO BE PROVIDED AND INSTALLED BY TENANT.
  - CONTRACTOR SHALL SUBMIT SAMPLES OF ALL EXTERIOR FINISH MATERIALS TO OWNER FOR REVIEW/APPROVAL PRIOR TO INSTALLATION OF FINISHES.
  - PAINT ALL EXPOSED ELECTRICAL PANELS, CONDUIT, PIPING, JUNCTION BOXES, ETC. TO MATCH FINISH OF ADJACENT WALL SURFACE.
  - CAULK AND SEAL ALL THRU-WALL PENETRATIONS WATER/TIGHT. ALL SEALANT SHALL BE COLOR MATCHED TO ADJACENT SURFACES.
  - AREA BEHIND ALL BUILDING MOUNTED METERS/ EQUIPMENT TO BE FINISHED AND PAINTED BEFORE EQUIPMENT IS MOUNTED.
  - EIFS TO STOP 4" ABOVE EARTH, AND 2" ABOVE PAVED SURFACE. STUCCO CONTROL JOINTS TOTAL CONFINED AREA NOT TO EXCEED 144 SQ.FT.

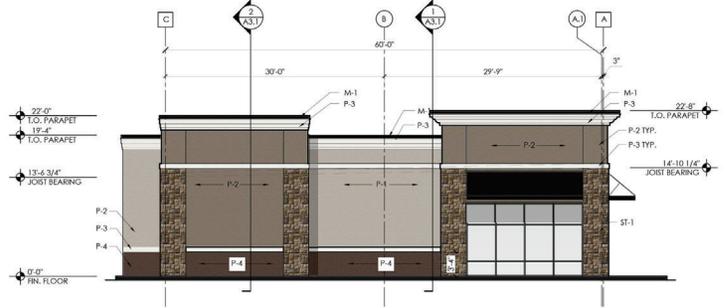


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3 NORTH/SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



2 SOUTH/SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



1 EAST/FRONT ELEVATION  
SCALE: 1/8" = 1'-0"

- GENERAL NOTES:**
- STOREFRONT NOTES:
    - ALL GLAZING IS 1" DOUBLE GLAZED, LOW 'E', CLEAR, NON-REFLECTIVE. ALL GLAZING NEEDS TO BE LISTED TO MEET LOCAL WIND LEVELS AND CORRESPONDING DP RATINGS.
    - ALL FRAMES EQUAL TO KAWNEER 4511 SERIES STOREFRONT SYSTEM.
    - "T" DENOTES TAMPURED GLAZING WHERE REQUIRED BY CODE.
    - COLOR : DARK BRONZE.
    - SEE SHEET A6.2 FOR STOREFRONT FLASHING DETAILS.
    - PROVIDE F.R. FLYWOOD SHEATHING AT SIGNAGE AREA FOR EACH UNIT. SEE WALL SECTIONS.
  - CONTROL JOINTS TO BE PROVIDED AT CMU, BRICK, AND EIFS.

NOTE: GENERAL CONTRACTOR MUST VERIFY ALL EXTERIOR FINISH COLORS INCLUDING STOREFRONT METAL WITH OWNER PRIOR TO INSTALLATION.



270 W. NEW ENGLAND AVE.  
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**RETAIL SHOPS**  
1421 ALAFAYA TRAIL  
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**REVISIONS**

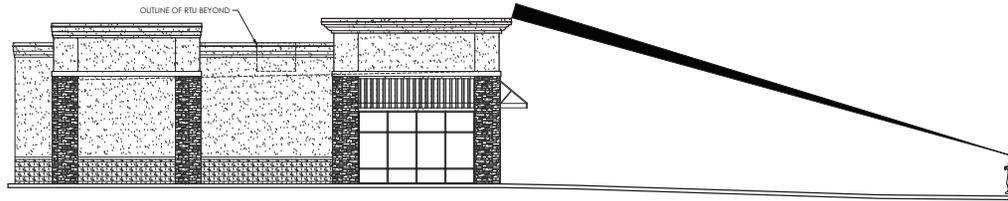
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OWIEDO, FL

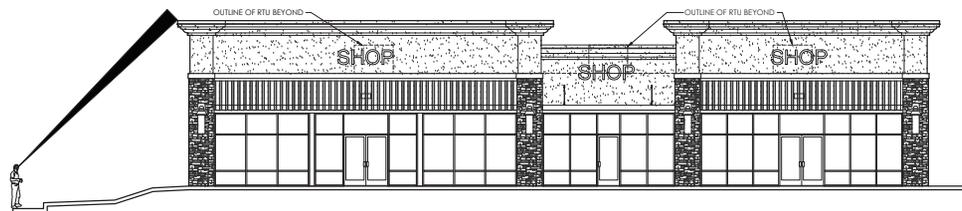
**A2.0**  
EXTERIOR ELEVATIONS



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2 LINE OF SIGHT FROM ALAFAYA TRAIL  
SCALE: 1/8" = 1'-0"



1 LINE OF SIGHT FROM PARKING LOT  
SCALE: 1/8" = 1'-0"

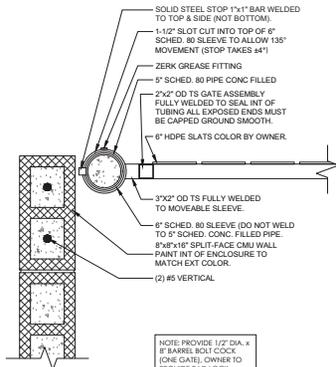


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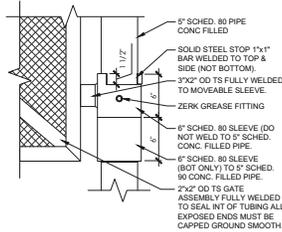
**REVISIONS**  
△ REV 2 XX-XX-23

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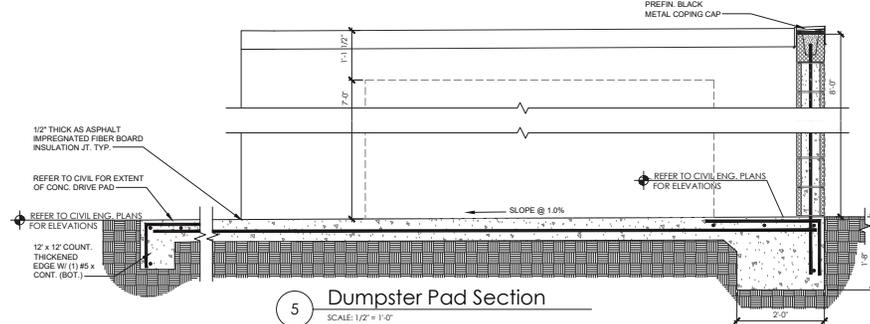
OVIEDO, FL  
**A2.1**  
LINE OF SIGHT DIAGRAM



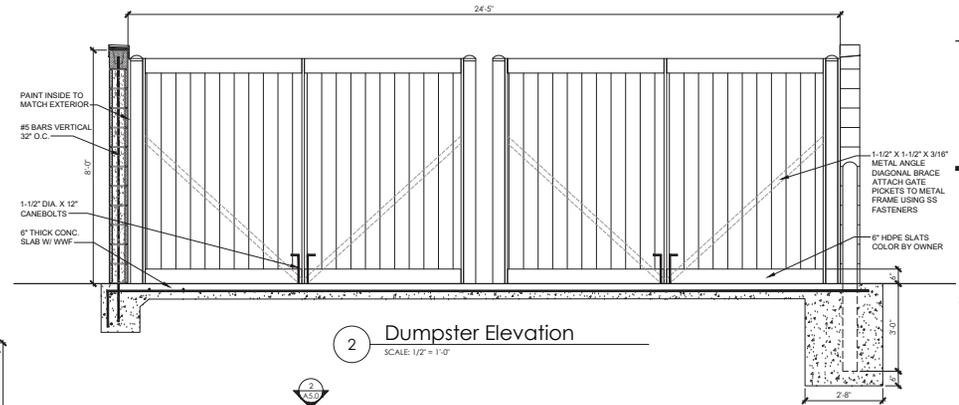
7 Hinge Plan Detail  
 SCALE: 1 1/2" = 1'-0"



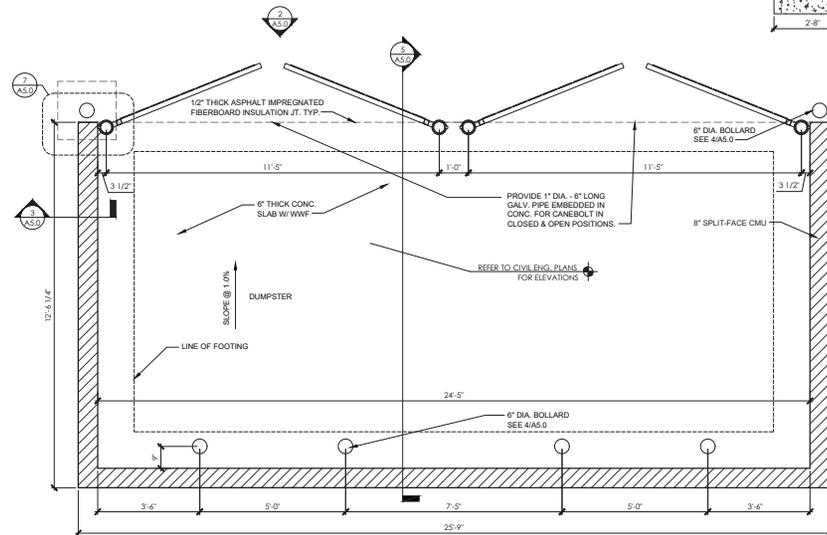
6 Hinge Elevation  
 SCALE: 1 1/2" = 1'-0"



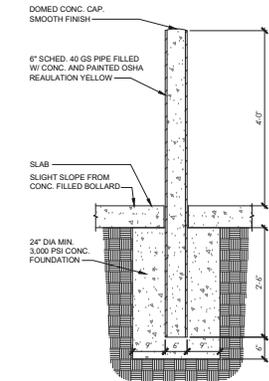
5 Dumpster Pad Section  
 SCALE: 1/2" = 1'-0"



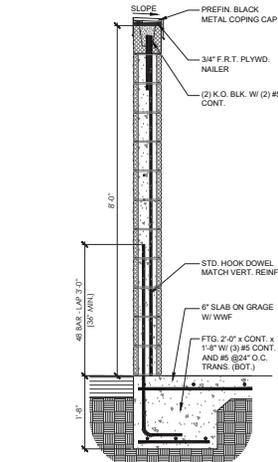
2 Dumpster Elevation  
 SCALE: 1/2" = 1'-0"



1 Dumpster Enclosure Plan  
 SCALE: 1/2" = 1'-0"



4 Bollard Detail  
 SCALE: 3/4" = 1'-0"



3 Dumpster Section  
 SCALE: 3/4" = 1'-0"



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A5.0  
 DUMPSTER ENCLOSURE

